

BRAINERD PLANNING COMMISSION
Workshop

Wednesday, September 22, 2021
6:00 p.m.
Fire Department Training Room
23 Laurel St.

1. Call To Order
2. Roll Call
3. Approval/Amendment Of Agenda
4. Draft Residential Districts Discussion

Documents:

[RESIDENTIAL ZONING DISTRICTS DRAFT 09172021.PDF](#)
[51X TABLE OF USES.PDF](#)

5. Adjourn

Brainerd, MN
Section 515.57 (DRAFT RESIDENTIAL ZONING)

515 ZONING DISTRICTS

Subd. 1. Summary. This Section establishes the Zoning Districts and their corresponding dimensional standards and regulations in the City. All parcels within the City are zoned with a Base Zoning District and may also be zoned within an Overlay District. The Special Districts are assigned to a specific project or character area and must relate to the Base District Zoning.

515.51 Zoning Districts Established

Subd. 1. Table of Established Base, Overlay and Special Zoning Districts. The following table is provided to summarize and identify the Zoning Districts in the City. The table is organized by Character Area which describes the dominant development pattern and use of the area. The following Character Areas are established: Agricultural and Rural, Contemporary Residential, Traditional Neighborhood, Downtown, Commercial and Industrial, and Special Districts. The Overlay Districts and Special Districts may be present in any of the Character Areas.

Table 1. Zoning Districts, District Type and Character Areas.

District Type	Zoning District	Abbreviation
Base	Character Area: Agricultural and Rural Districts	
	Rural Living	RL-1
	Garden Living	GL-1
Base	Character Area: Contemporary Residential Districts	
	Contemporary Neighborhood 1	CN-1
	Contemporary Neighborhood 2	CN2
Base	Character Area: Traditional Neighborhood Districts	
	Traditional Neighborhood 1	TN-1
	Traditional Neighborhood 2	TN-2
	Traditional Neighborhood 3	TN-3
Base	Character Area: Downtown Districts	
	Town Center	TC-1
	Main Street	MS-1
Overlay	Character Area: Commercial and Industrial Districts	
	General Commercial	GC-1
	Commercial Corridor	CC-1
	Limited Industrial	I-1
	General Industrial	I-2
Special	PUD or Overlay Districts	
	TBD	

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515.52 Base Zoning Districts

Subd. 1. Assigned Base Zoning Districts. All parcels, lots and land within the City are Zoned with a Base District designation. The Base Districts establish and assign dimensional standards for all lots, improvements, subdivisions and other uses as described and regulated within this Chapter. A parcel of land, development or contiguous area may be subject to an Overlay District which may assign additional dimensional standards and rules as described in Section 515_____

Table 2. Summary of Dimensional Standards for Base Districts.

Zoning District	Rural Living	Garden Living	Contemporary Neighborhood		Traditional Neighborhood			Town Center	Main Street	General Commercial	Corridor Commercial	Light Industrial	General Industrial
Abbreviations	RL-1	GL-1	CN-1	CN-2	TN-1	TN-2	TN-3	TC-1	MS-1	GC-1	CC-1	LI-1	GI-1
Density (DU/AC)	4 DU/40 AC	2 DU/AC to 1 DU/AC	3-5 DU/AC	4-12 DU/AC	4-9 DU/AC	9-20 DU/AC	9-20 DU/AC up to 45						
Lot Size (New Lot)	2.0 Min	15,000-43,560 SF	10,000-21,780 SF	Up to 15,000 SF	5,000-7,500 SF	4,000 SF Min.	20 AC (new)						
Frontage on Public Street	300' Min.	80' Min.	75' – 90'	65' – 80'	50' – 60'	45'-60'	Per Regulating Plan						
Lot Coverage (Maximum)	25%	25%	60%	60%	60%	75%	Per Regulating Plan						
Principal Building Height (Maximum)	35'	35'	35'	35'	35'	35'	Per Regulating Plan						

(A) Base Zoning District Exceptions and Considerations. The following exceptions and considerations are provided for all Base Zoning Districts. Dimensional Standards specific to Base Zoning Districts are provided in [Subd. X through Subd. X] of this subsection.

I. Base Zoning District Standards for Utility Services (Water and Sewer). The dimensional standards for each lot or parcel are determined by the type of utility service present and available. The following standards shall apply:

- a. Buildable Area. The minimum Buildable Area for lots or parcels not served by water and sewer shall have a minimum of 1.0 acres of contiguous land outside all required setbacks.
- i. There is no minimum Buildable Area if municipal or public water and sewer is available, and the lot or parcel is served by the system. The Building Area shall be deemed all are within a lot outside required yard setbacks.

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515.51 Rural Living Zoning District (RL-1)

515.51.1 Purpose of RL-1 Zoning District. This District is intended for areas where Urban Services are not presently available but may be available in the future. Lands within this district may be developed and used for low intensity residential and agricultural uses, and in the future may be rezoned when it is economically feasible for the extension of Urban Services including utilities, streets, parks, storm drainage and other public facilities into these areas.

515.51.2 Permitted Uses. See Table [X] for permitted, accessory, interim, and conditional uses.

515.51.3 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

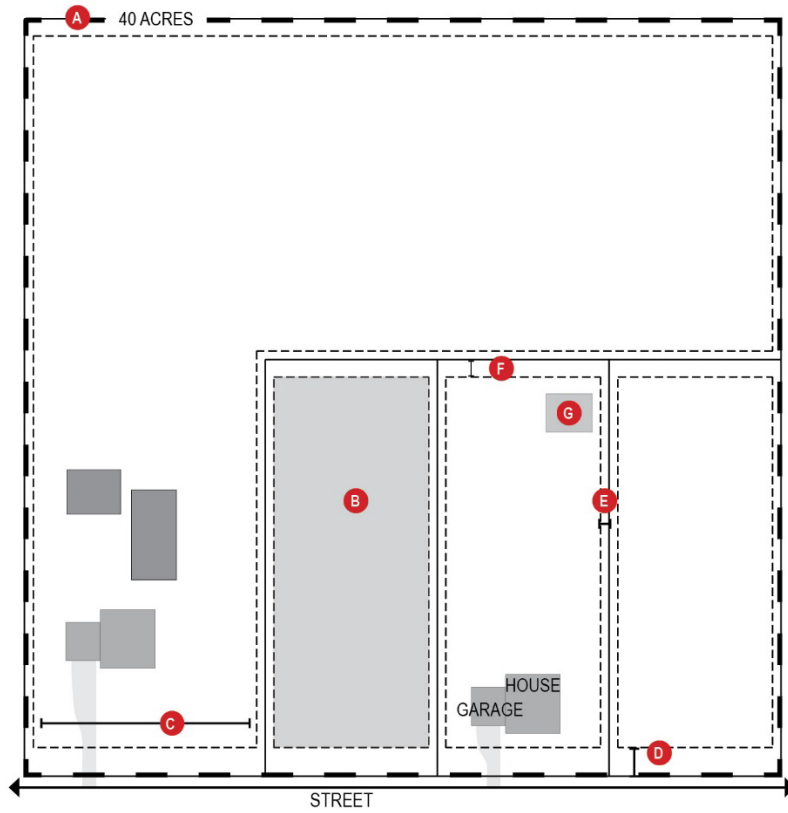
515.51.4 RL-1 Zoning District Dimensional Standards

Table __. RL-1 Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (minimum)	2 acre
	Density (maximum)	4 unit per 40 acres
B	Buildable Area (minimum)	1.0
C	Lot Frontage on All Roads (minimum)	300'
Principal Building Setbacks (Minimum)		
D	Front Yard Setback	50'
E	Side Yard Setback	15'
F	Rear Yard Setback	30'
Accessory Building Standards		
G	Location	Behind Principal Building
H	Front Yard Setback / Ag Use	50'/100'
I	Side Yard Setback / Ag Use	15'/100'
J	Rear Yard Setback / Ag Use	30'/100'
	Size / Ag Use	4,000 sf/unlimited
	Number / Ag Use	2 maximum/unlimited
Other Standards		
	Impervious Surface Coverage	25%
	Principal structure height/accessory	35'/35'
	Ag Accessory structure height	No limit
Other Standards		
	TBD	

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Figure X. RL-1 Density and Lot Dimensional Standards Diagram



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515.52 Garden Living Zoning District (GL-1)

515.52.1 Purpose of GL-1 Zoning District. This District is intended for areas where Urban Services are available, and lots and parcels are served by public water, sewer, stormwater, streets and other public infrastructure. Lands zoned Garden Living are predominantly developed with single-family detached buildings and supporting accessory uses.

515.52.2 Permitted Uses. See Table [X] for permitted, accessory, interim and conditional uses.

515.52.3 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

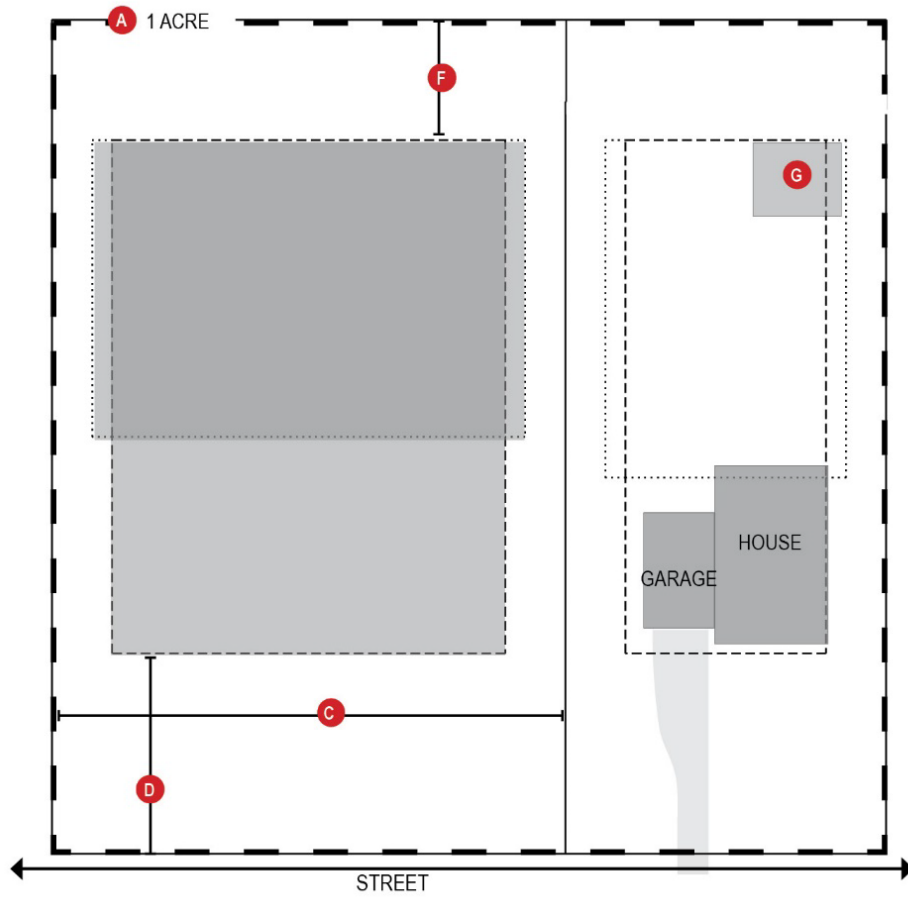
515.52.4 GL-1 Zoning District Dimensional Standards

Table __. GL-1 Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (range) Density (maximum)	15,000 SF – 43,560 SF (1 Ac.) 2 DU/AC – 1 DU/AC
B	Buildable Area	Area outside of all yard setbacks, and outside OHWL or Shoreland Setback for Riparian Lot
C	Lot Frontage on All Roads (minimum) Lot Frontage on cul-de-sac (minimum)	80 FT 45 FT
Principal Building Setbacks (Minimum)		
D	Front Yard Setback	50'
E	Side Yard Setback	15'
F	Rear Yard Setback	30'
Accessory Building Standards		
G	Front Yard Setback (if detached)	50% lot depth, or
	Side Yard Setback	10'
	Rear Yard Setback	30'/or if Riparian Shoreland Overlay Standards Apply
	Location	Riparian – Permitted in Front of Principal Building must meet Principal Building setback Non-Riparian – Behind Principal Building
	Size	5% of lot
	Number	1
Coverage and Height Standards (Maximum)		
	Impervious Surface Coverage	25%
	Principal structure height	35'
	Accessory structure height	Up to 35' but may not exceed height of principal structure
Other Standards		
	TBD	

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Figure X. GL-1 Density and Lot Dimensional Standards Diagram



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515.53 Contemporary Neighborhood 1 (CN-1)

515.53.1 Purpose of CN-1 Zoning District. This District is intended for predominantly single-family detached residential uses and associated accessory uses. Lots in this District are typically developed with front-loaded garages, with larger private yard spaces. The lots are wider with principal structures setback and connected to public right-of-way with a private driveway.

515.53.2 Permitted Uses. See Table [X] for permitted, accessory, interim and conditional uses.

515.53.3 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

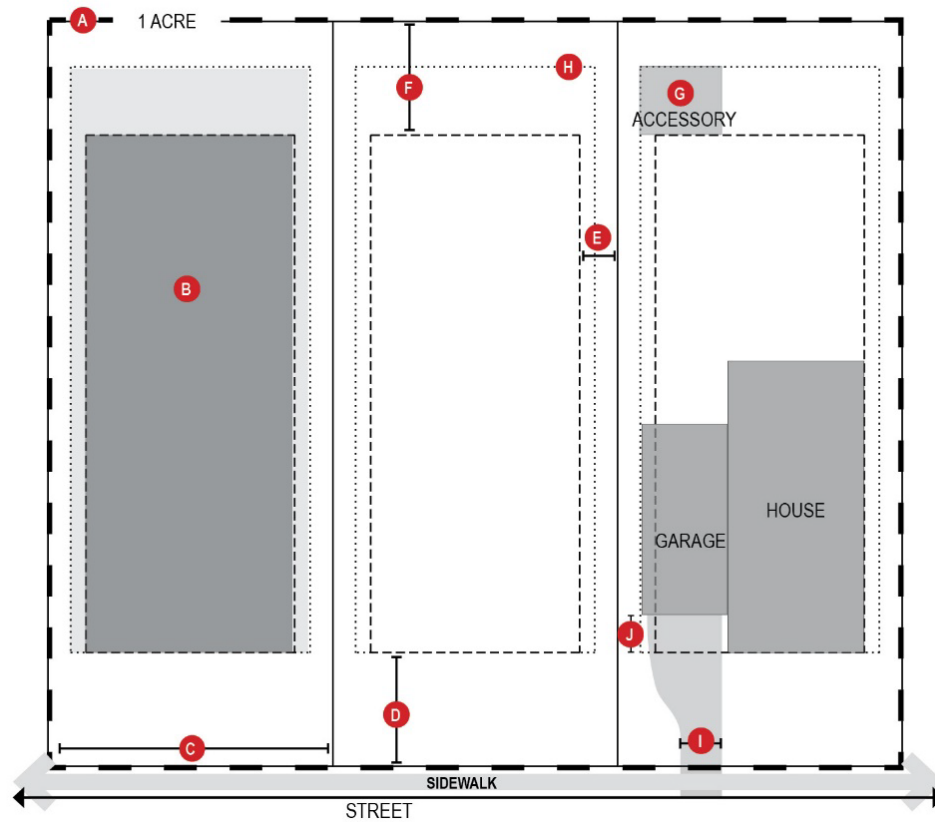
515.53.4 CN-1 Zoning District Dimensional Standards

Table __. CN-1 Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (minimum) Density (maximum)	10,000 SF – 21,780 SF 3 – 5 DU/ AC
B	Buildable Area (minimum)	Outside all setbacks
C	Lot Frontage on All Roads (minimum)	75'/90' max
Principal Building Setbacks (Minimum)		
D	Front	30 FT
E	Side	10'/20' corner
F	Rear	30'
Accessory Building Standards		
G	Location (Front)	Behind principal building
	ADU	Permitted if attached to Principal structure
H	Side/Corner	6 FT/12 FT
H	Rear	12 FT
	Size	10%
	Number	1
Coverage and Height Standards (Maximum)		
	Impervious Surface Coverage	60%
	Principal structure height	35'
	Accessory structure height	Up to 35' but may not exceed height of principal structure
Other Standards		
I	Driveway	Width at ROW max is 12 FT
J	Garage	Must be setback minimum of 5 FT from Principal Structure
	Sidewalk/Trail Standards	See Subdivision Ordinance Section [XXXX]

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Figure X. CN-1 Density and Lot Dimensional Standards Diagram



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515.55 Contemporary Neighborhood 2

515.55.1 Purpose of CN-2 Zoning District. This District is intended for predominantly single-family detached residential uses and associated accessory uses. Some single-family attached uses may be present woven throughout this District. Lots in this District are typically developed with front-loaded garages and principal structures setback and connected to public right-of-way with a private driveway.

515.55.2 Permitted Uses. See Table ____ for permitted, accessory, interim and conditional uses.

515.55.3 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

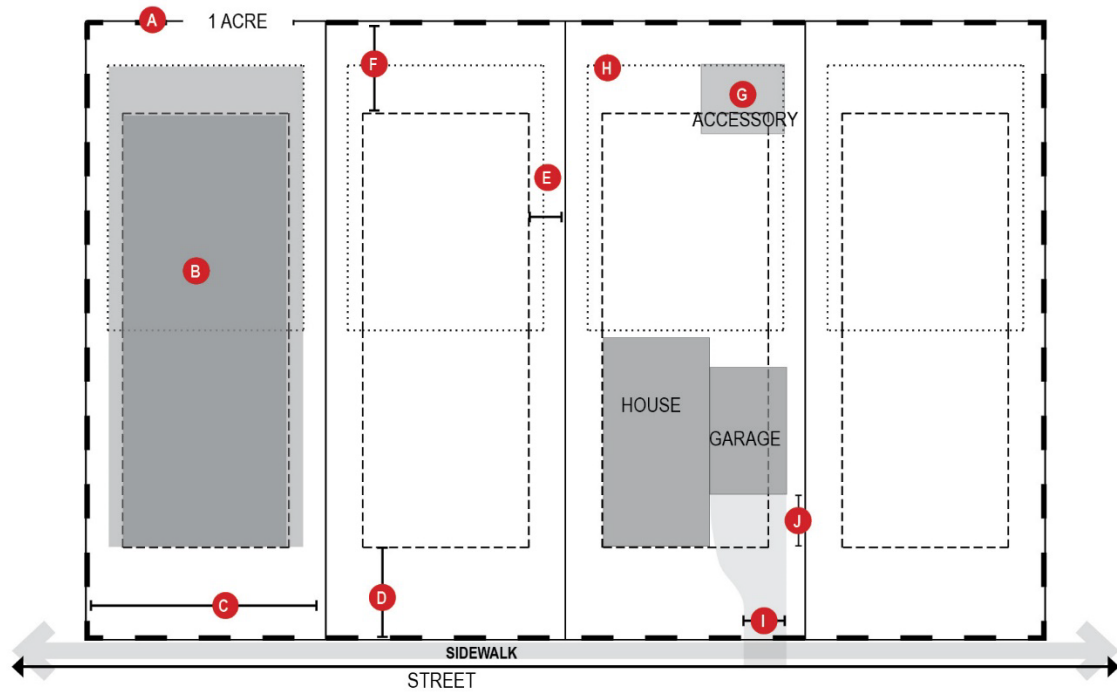
515.55.4 CN-2 Zoning District Dimensional Standards

Table __. CN-2 Zoning District Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (minimum)	Up to 15,000 SF
	Density (maximum)	4 – 12 DU/AC
B	Buildable Area (minimum)	Outside all setbacks
C	Lot Frontage on All Roads (minimum)	65' – 80' max
Principal Building Setbacks (Minimum)		
D	Front Yard Setback	25'
E	Side Yard Setback	10'/20' corner
F	Rear Yard Setback	25'
Accessory Building Standards		
G	Location	Rear 50% of side lot line dimension up to 5' from rear line
	ADUs	Permitted Attached or Detached on Corner lot
H	Front Yard Setback	If detached, 50% of lot depth
H	Side/Corner Yard Setback	6 FT/12 FT
H	Rear Yard Setback	12 FT
	Size	10% of lot area
	Number	1
Coverage and Height Standards (Maximum)		
	Impervious Surface Coverage	60%
	Principal structure height	35'
	Accessory structure height	Up to 35' but may not exceed height of principal structure
Other Standards		
I	Driveway	If front loaded, Width at ROW max is 12 FT
J	Garage	Must be setback minimum of 5 FT from Principal Structure
	Sidewalk/Trail Standards	See Subdivision Ordinance Section [XXXX]

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Figure X. CN-2 Density and Lot Dimensional Standards Diagram



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515.56 Traditional Neighborhood 1 (TN-1)

515.56.1 Purpose of TN-1 Zoning District. The TN-1 traditional neighborhood district is intended to provide for a compact, pedestrian-oriented mix of residential uses. This District reinforces the existing pattern of small, connected lots, blocks and street and supports future development or redevelopment that is consistent with this pattern.

515.56.2 Permitted Uses. See Table ____ for permitted, accessory, interim and conditional uses.

515.56.3 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

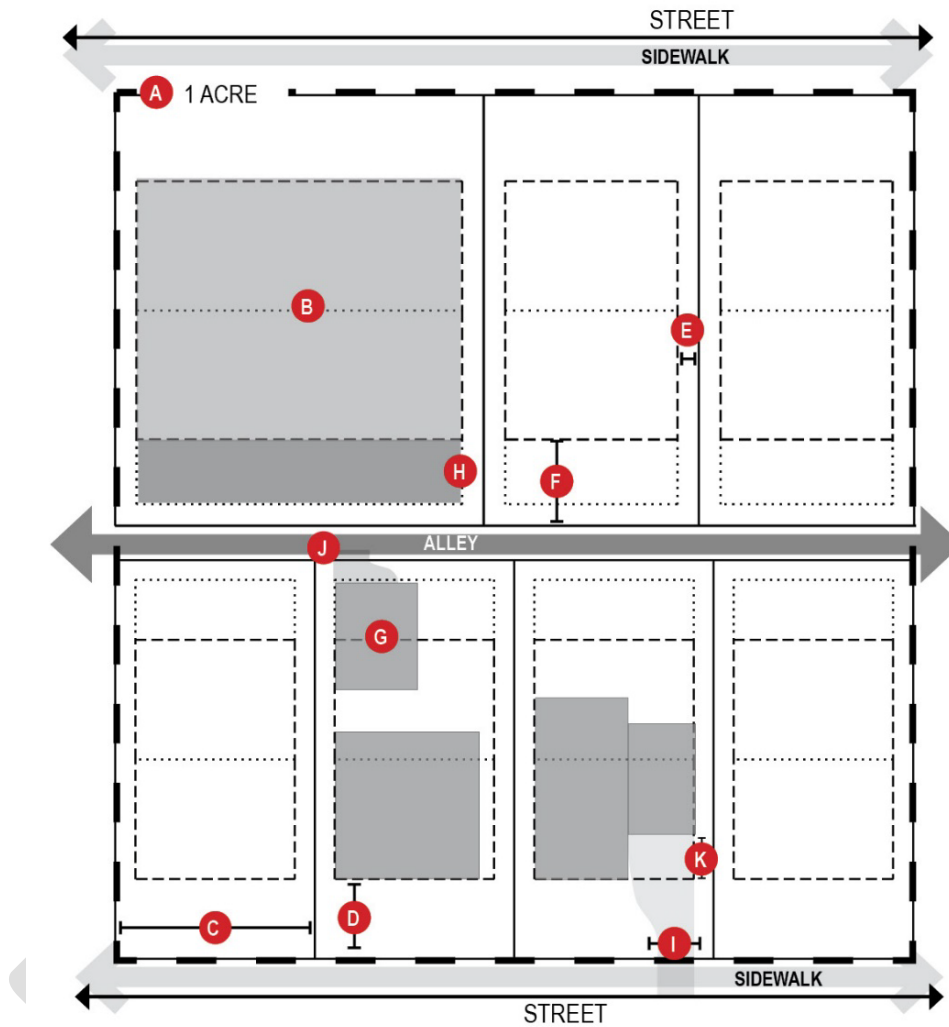
515.56.4 TN-1 Zoning District Dimensional Standards

Table __. TN-1 Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (minimum)	5,000-7500 SF
	Density (maximum)	4-9 DU / AC
B	Buildable Area (minimum)	Outside all setbacks
C	Lot Frontage on All Roads (minimum)	50' – 60'
Principal Building Setbacks (Minimum)		
D	Front Yard Setback	20'
E	Side Yard Setback	5'/15' corner
F	Rear Yard Setback	20'
Accessory Building Standards		
G	Location	Rear 50% of side lot line dimension
	ADUs	Permitted Attached or Detached on Corner lot
H	Front Yard Setback	If detached, 50% of lot depth
H	Side Yard Setback	5 FT/10 FT
H	Rear Yard Setback	5 FT
	Size	10% of lot area
	Number	1
Coverage and Height Standards (Maximum)		
	Impervious Surface Coverage	60%
	Principal structure height	35'
	Accessory structure height	Up to 35' but may not exceed height of principal structure
Other Standards		
I	Driveway	If front loaded, Width at ROW max is 12 FT
J	Alley	If present, access and garage/parking is required
	Garage	If front loaded, must be setback minimum of 5 FT from Principal Structure
	Sidewalk/Trail Standards	See Subdivision Ordinance Section [XXXX]

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Figure X. TN-1 Density and Lot Dimensional Standards Diagram



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515.56 Traditional Neighborhood 2 (TN-2)

515.56.1 Purpose of TN-2 Zoning District. The TN-2 traditional neighborhood district is intended to provide for compact, pedestrian-oriented mix of residential and neighborhood-serving commercial uses. This District reinforces the existing pattern of small, connected lots, blocks and street and supports development and redevelopment consistent with this pattern.

515.56.2 Permitted Uses. See Table ____ for permitted, accessory, interim and conditional uses.

515.56.3 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

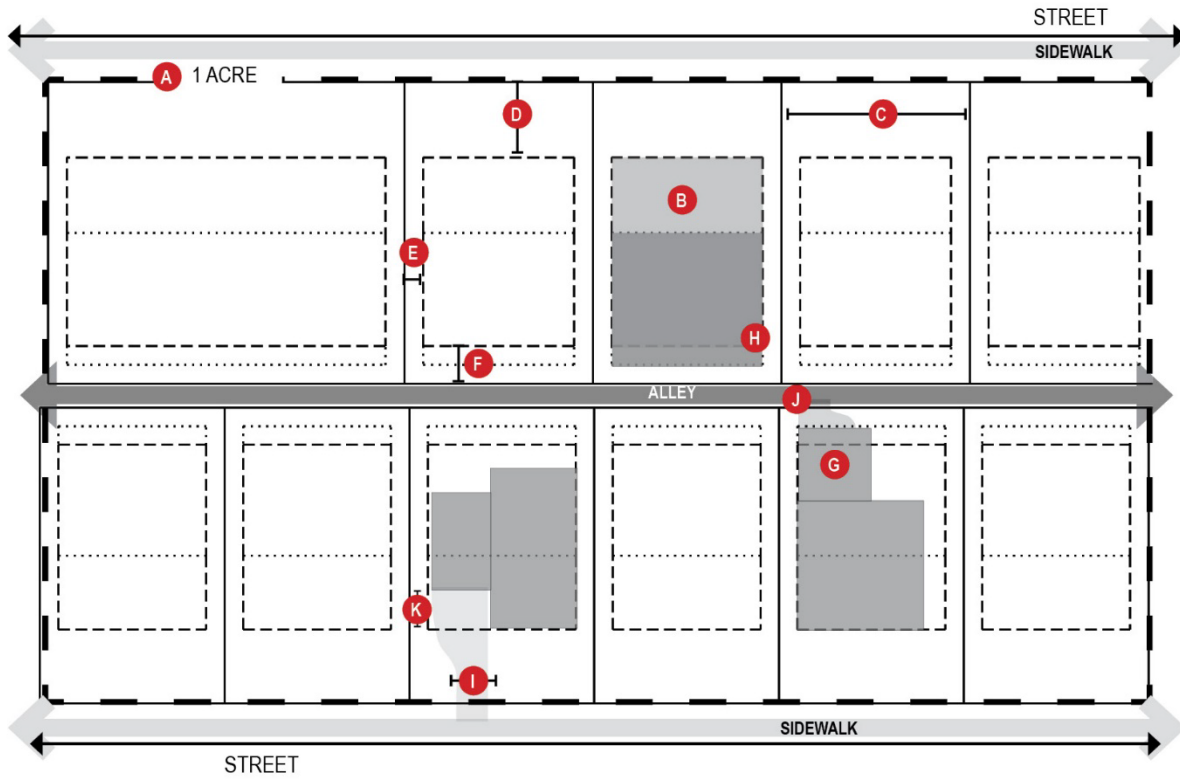
515.56.4 TN-2 Zoning District Dimensional Standards

Table __. TN-2 Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (minimum)	4,000 SF
	Density (maximum)	9 – 20 DU/AC (20+ DU/AC requires CUP)
B	Buildable Area	Outside of all setbacks
	Floor Area Ratio (FAR) for commercial use	0.5
C	Lot Frontage on All Roads (minimum)	50 FT
Principal and Accessory Building Setbacks (Minimum)		
D	Front Yard Setback	0 - 20'
E	Side Yard Setback	5'/10' corner
F	Rear Yard Setback	10'
Accessory Building Standards		
G	Location	Behind principal structure
	ADUs	Permitted
H	Front Yard Setback	If detached, 50% of lot depth
H	Side Yard Setback	5 FT/10 FT
H	Rear Yard Setback	5 FT
	Size	10% of lot area
	Number	1
	Location	Rear 50% of side lot line dimension
Coverage and Height Standards (Maximum)		
	Impervious Surface Coverage	75%
	Principal structure height	35'
	Accessory structure height	Up to 35' but may not exceed height of principal structure
Other Standards		
I	Driveway	If front loaded, Width at ROW max is 12 FT
J	Alley	If present, access and garage/parking is required
K	Garage	If front loaded, must be setback minimum of 5 FT from Principal Structure
	Sidewalk/Trail Standards	See Subdivision Ordinance Section [XXXX]

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Figure X. TN-2 Density and Lot Dimensional Standards Diagram



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515.57 Traditional Neighborhood 3 (TN-3)

515.57.1 Purpose of Zoning District. This District is intended to allow larger sites/parcels (typically undeveloped “greenfield” sites) to be developed as a full mixed use, traditional neighborhood that is walkable, connected by a prominent public realm and supports a wide range of residential (attached and detached), commercial and community uses. The structure of the TN-3 district provides the City and future development groups with the regulations and guidelines needed to develop a comprehensive, resilient, and walkable neighborhood. The district regulations provide the following:

- A network of connected streets and blocks.
- General block sizes and configurations that support the Future Land Use plan.
- Maximum block perimeters that foster attractive, safe, and walkable environments, while enhancing circulation through the site.

515.57.2 Regulating Plan. The TN-3 district is implemented through a Regulating Plan, approved with the rezoning to TN-3, which includes a combination of at least two of the three intensities described below and regulated by Table X. Areas must be divided into neighborhoods by the introduction of a primary thoroughfare network, and then into blocks by the completion of the streets and open spaces. As the area is subdivided to generate blocks, parcels and individual building sites, the Regulating Plan assigns intensities that may be refined with approval by the Zoning Administrator according to Section [XXX.XXX]. Regulating plans, consisting of one or more maps, must show the following:

- District boundaries
- Existing infrastructure including streets, parks and open space
- Thoroughfare network according to subsection 515.57.8
- Park/open space area.

515.57.3 Permitted Uses. See Table ____ for permitted, accessory, interim and conditional uses.

515.57.4 Uses by Administrative Permit.

List to be developed with Table of Use Discussion.

515.57.5 TN-3 Zoning District Dimensional Standards

Table ____ TN-3 Dimensional Standards – Density, Lot Size, Coverage and Height Standards

Lot Dimensions		
A	Lot Size (minimum)	20 acres minimum
	Density (maximum)	9 – 20 DU/Acre up to 45 DU/AC
B	Buildable Area (minimum)	Outside all Setbacks
C	Lot Frontage on All Roads (minimum)	45' – 60'
D	Block dimensional standards	Per Regulating Plan standards
Principal Building Setbacks (Minimum)		
E	Front Yard Setback	0 - 20'
F	Side Yard Setback	5'/10' corner
G	Rear Yard Setback	10'

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Accessory Building Standards		
H	Location	Behind principal structure
	ADUs	Permitted
I	Front Yard Setback	If detached, 50% of lot depth
I	Side Yard Setback	5 FT/10 FT
I	Rear Yard Setback	5 FT
	Size	10% of lot area
	Number	1
	Location	Rear 50% of side lot line dimension
Coverage and Height Standards (Maximum)		
	Impervious Surface Coverage	Per Regulating Plan standards
	Principal structure height	Per Regulating plan
	Accessory structure height	Up to 35' but may not exceed height of principal structure
Other Standards		
J	Driveway	If front loaded, Width at ROW max is 12 FT
K	Alley	If present, access and garage/parking is required
L	Garage	If front loaded, must be setback minimum of 5 FT from Principal Structure
	Sidewalk/Trail Standards	See Subdivision Ordinance Section [XXXX]
	Neighborhood Park Standards	10,890 – 43,560 SF

Figure X. TN-3 Density and Lot Dimensional Standards Diagram

TO BE INSERTED

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515.57.6 Regulating Plan Standards for TN-3 Zoning District

515.57.7 Block standards

- A. Length = 500 ft max (mid-block passage allows additional length)
- B. Perimeter = 1500-1800 linear feet
- C. Block dimensions. Block length and perimeter may be adjusted up to 20% with approval from the Zoning Administrator due to topography, existing development conditions, or if the block is at the perimeter of the TN-3 regulating plan. Block lengths up to 800 ft. may be approved if a mid-block pedestrian passage is provided.
- D. Block Sizes: Blocks shall be compact so that they are comfortably walkable and appropriate for their context.
- E. Block sizes are flexible, but the perimeter shall not exceed 1,800 linear feet. An average block perimeter less than 1,500 feet is preferred.
- F. Exceptions may be made for natural elements such as wetlands, trees, topography, and cultural resources, to be incorporated into the site design

515.57.8 Thoroughfare standards.

- A. All thoroughfares must connect to other thoroughfares, forming a network.
- B. New thoroughfares must connect wherever possible to thoroughfares on adjacent sites. Cul-de-sacs may only be permitted by approval of the Zoning Administrator to accommodate specific site conditions.
- C. New thoroughfare sections may be created using the standards in Table [X]
- D. Mid-block pedestrian passages.
 - 1. In areas with adequate vehicular capacity, pedestrian-only connections may be used mid-block and will count as a new edge in block perimeter calculations.
 - 2. Parking lot layout.
- E. In addition to the parking regulations of Section [X], parking lots in TN-3 must be laid out as blocks per Table [X], with utilities located in the drive aisles. Drive aisles must have adequate width to redevelop with rights-of-way required by one or more of the thoroughfare sections in Table [X] Street ROW.

515.57.9 Lot standards.

- A. Lots must have minimum and maximum widths according to Table [X]
- B. Each lot must have a primary frontage along a vehicular thoroughfare, except up to 20% of the parcels in a Regulating Plan may front a civic space or pedestrian passage.
- C. Where lots have multiple frontages, one frontage line must be designated as primary and any other frontage lines must be designated as secondary.

515.57.10 Intensities.

- A. TN-3 intensities are comprised of:

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B. **Low intensity:** Consists of medium density residential areas, with a mix of uses, home occupations, and accessory buildings. It contains a wide range of building types — houses, courtyard housing, townhouses, duplexes, triplexes, small apartment buildings, and neighborhood commercial uses.

C. **Medium intensity:** Consists of a mix of uses but is primarily medium to high density residential and neighborhood commercial uses.

D. **High intensity:** Consists of higher density mixed-use buildings that accommodate retail, offices, institutions, and multi-family housing.

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51X TABLE OF USES (Draft)

ZONING DISTRICT	RL-1	GL-1	CN-1	CN-2	TN-1	TN-2	TN-3	MH-1
Permitted Uses								
Agriculture uses	P							
Barns, stables, silos & related ag buildings	P							
Commercial/Retail establishments						P	P	
Essential services (re Section 36)	P	P	P	P	P	P	P	
Forest and game management areas	P							
Government & public buildings	P	P	P	P	P	P	P	
Multiple family dwellings						P	P	
Nurseries, greenhouses	P							
Office businesses - clinic						P	P	
Office businesses - general						P	P	
One family detached manufactured dwellings								P
One multiple family building containing 4 or less units					P			
Public recreation areas and buildings	P	P	P	P	P	P	P	P
Residential care, 6 or fewer persons in SF detached dwelling	P	P	?	?	P	P	P	
Single family dwellings	P	P	P	P	P	P	P	
Two family attached dwellings					P	P	P	
Accessory Uses								
Accessory buildings including tool houses, sheds	P	P	P	P	P	P	P	P
Boarding or renting of rooms, no more than 2 individuals	P	P						
Common swimming pool								P
Community laundry facilities								P
Fences	P	P	P	P	P	P	P	
Home businesses (re Section 26)	P	P	P	P	P	P	P	P
In home day care, serving no more than 14 persons	P	P	?	?	P	P	P	
Non-commercial greenhouse (re Section 17)	P	?				?	P	P
Off street parking, garages (re Section 17, 22 & 23)	P	P	P	P	P	P	P	P
Private recreational facilities			?	?	P	P	P	
Radio & television antennas	P	P	P	P	P	P	P	
Recreational equipment (re Section 17)	P	P	?	?	?	P	P	
Rental offices						P	P	
Solar energy systems, structures	P	P	P	P	P	P	P	
Storage of recreational vehicles & equipment	P	P	?	?	?	P	P	P
Temporary roadside stands	P							

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ZONING DISTRICT	RL-1	GL-1	CN-1	CN-2	TN-1	TN-2	TN-3	MH-1
Interim Uses								
Commercial animal kennels	P							
Home extended businesses (re Section 26)	P	P				P	P	
Mining or land reclamation (re Section 26)	P							
Short term rentals (1 and 2 family dwellings)			?	?	P	P	P	
Temporary classroom buildings (public or private schools)			P	P	P	P	P	
Wind energy conversion system (re Section 34) (MICRO?)	P	?	?	?	?	?	?	
Conditional Uses								
Bed & breakfast (re Section 31)	P	P	P	P	P	P		
Boarding houses						P	P	
Brew pub: off-sale, on-sale, w/taproom (on & off sale)						P	P	
Cemeteries (re Section 20)	P	P	P	P		P	P	
Commercial day care						P	P	
Commercial riding stables	P							
Funeral homes, mortuaries						P	P	
Governmental & public utility buildings, structures	P	P	P	P	P	P	P	
Hospitals			P	P	P	P	P	
Micro distilleries & cocktail rooms						P	P	
Motor vehicle fuel sales						P	P	
Nonprofit offices of Brainerd Independent School District			P	P	P	P	P	
Non-enclosed areas for dining an/or alcohol						P	P	
Nursing homes & similar group housing						P	P	
Off premise surface parking lots					P	P	P	
On-sale liquor						P	P	
Personal wireless service towers	P	P	P	P	P	P	P	
Places of worship & related buildings	P	P	P	P	P	P	P	
Planned unit developments (re Section 11)	P	P	P	P	?	?		
Planned unit developments: townhomes & quadraminiums								
Private clubs & lodges						P	P	
Public & private schools	P	P	P	P	P	P	P	
Public buildings on public land			P	P	P	P	P	
Public, semi-public recreational buildings, community centers	P	P	P	P	P	P	P	
Regional pipelines	P							
Senior center						P	P	
Senior housing						P	P	
Signs (re Section 37)						P	P	

Brainerd, MN
Section 51X.XX (DRAFT ALLOWED USES)

ZONING DISTRICT	RL-1	GL-1	CN-1	CN-2	TN-1	TN-2	TN-3	MH-1
SF and two-family dwellings greater than 500 SF, less than 750 SF subject to Section 515-54-11; related non-conforming lots					P?	P?		
Specialty food shops						P	P	
State licensed residential facilities (serving 7-16 persons)						P	P	
Studios – art, dance, music, design, photography						P	P	